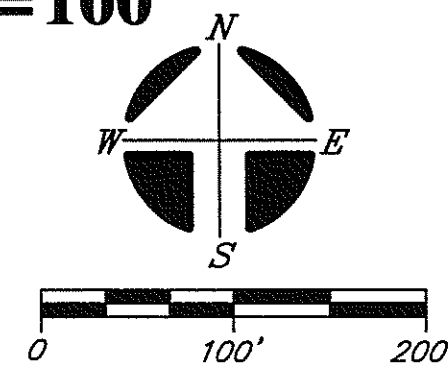
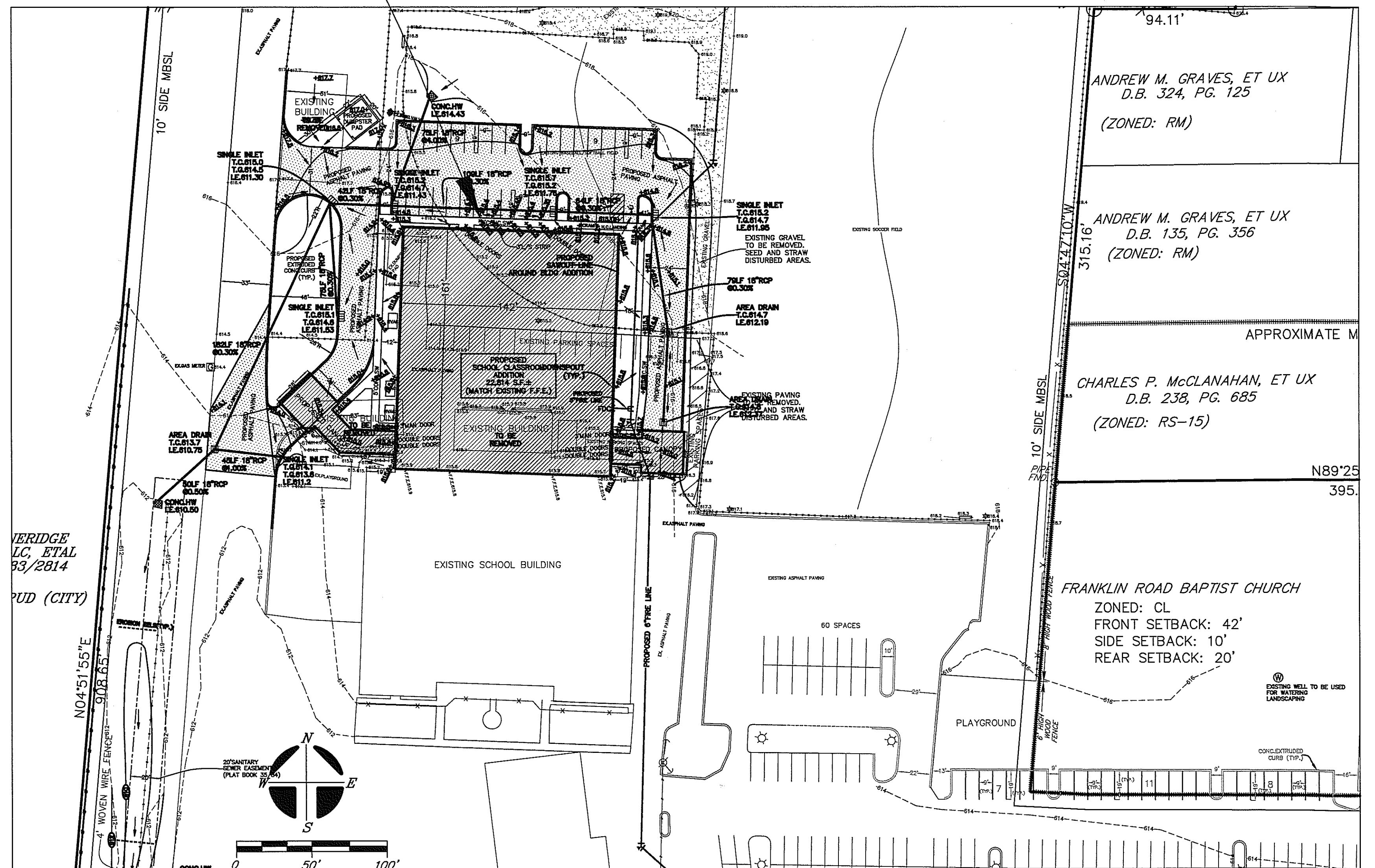


# MASTER PLAN

1"=100'

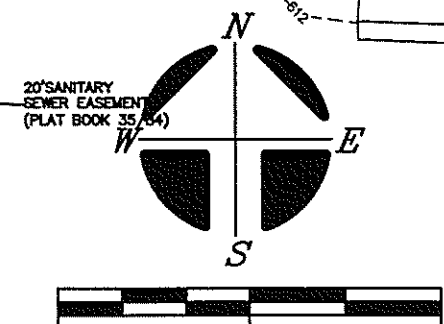


## SCHOOL CLASSROOM BUILDING ADDITION SITE



## SITE MAP

1"=50'

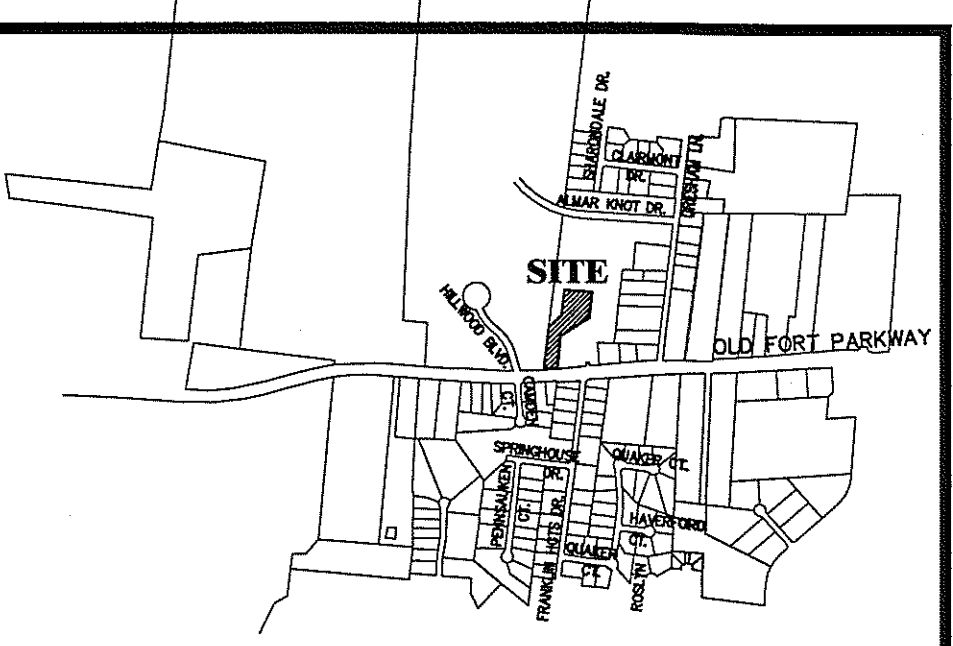


## LEGEND

- Power Pole
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence
- (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Turf Reinforcement Mat
- Existing Telephone & Electric Line
- Existing Underground Electric Line
- Corrugated Metal Pipe
- Reinforced Concrete Pipe

## NOTES:

- IN TENNESSEE, IT IS A REQUIREMENT PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS, THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.



## LOCATION MAP

N.T.S.

NOTE: FRANKLIN ROAD BAPTIST CHURCH IS AN OUTSIDE THE CITY SEWER CUSTOMER.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

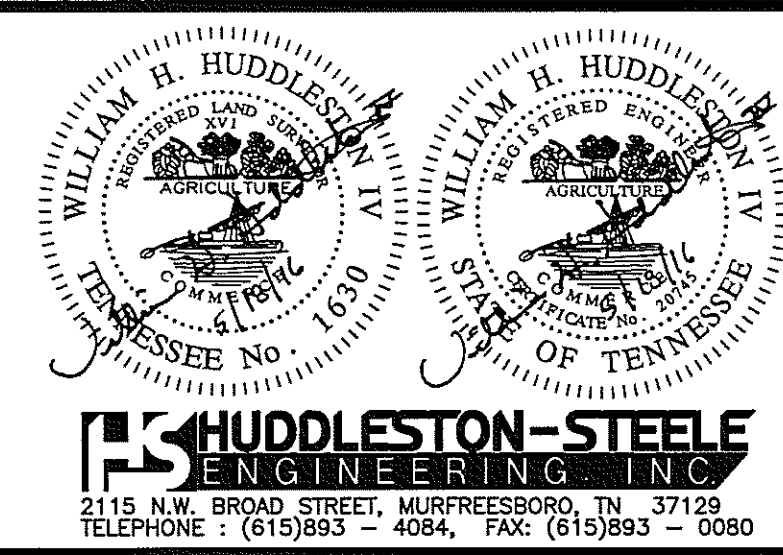
#	DATE	REVISION DESCRIPTION
1	05/13/16	ADDRESSED CITY STAFF COMMENTS
2	05/18/16	ADDRESSED COUNTY STAFF COMMENTS

TOTAL PROPERTY ACREAGE:  
25.11 AC.±  
TOTAL DISTURBED ACREAGE:  
2.1 AC.±

ZONING: RM (COUNTY)  
FRONT SETBACK: 40'  
SIDE SETBACK: 10'  
REAR SETBACK: 20'

OWNER: FRANKLIN ROAD BAPTIST CHURCH  
ADDRESS: 3124 FRANKLIN ROAD  
MURFREESBORO, TN 37129  
TAX MAP: 92 PARCEL: 47  
FLOOD MAP PANEL: 470168 0255 H ZONE: X  
FLOOD MAP DATED: JANUARY 5, 2007

- LEGEND FOR MONUMENTS
- IPS ○ IRON PIN SET
- IPF ○ IRON PIN FND.
- RAILROAD SPIKE
- FENCE
- SURVEY POINT
- △ NAIL
- CONC. MARKER FND.



MASTER PLAN  
FRANKLIN ROAD  
BAPTIST CHURCH  
SCHOOL CLASSROOM BUILDING ADDITION  
13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: MAY, 2016  
SCALE: AS SHOWN  
SH. 1 OF 4



CERTIFICATE OF WATER  
I hereby certify that the site plan entitled **SITE PLAN - FRANKLIN ROAD BAPTIST CHURCH SCHOOL CLASSROOM BUILDING ADDITION** has been approved Consolidated Utility District of Rutherford County for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with C.U.D.R.C. specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date \_\_\_\_\_ Consolidated Utility District Official \_\_\_\_\_

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plot approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at [www.mtemc.com](http://www.mtemc.com) (collectively the "Requirements"). No electric service will be provided until the Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's requirements.

Date \_\_\_\_\_ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION \_\_\_\_\_

**BES STONERIDGE  
FUND IX, LLC, ETAL  
REC.BK. 1183/2814**

**ZONED: PUD (CITY)**

Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of existing elevation of the recent manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

STANDARD CITY OF MURFREESBORO NOTES:

- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video service the city of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- All signage, including flags and flagpoles, is subject to independent review by the Building and Code Department. All signage must conform to their requirements and require separate sign permits.
- A Land Disturbance Permit may be required. Determination whether a Land Disturbance Permit is required shall be made by the City Engineer. A separate Land Disturbance Permit application shall be made with the office of the City Engineer for review and upon approval for issuance of a Land Disturbance Permit.
- For all developments of more than one acre, a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the office of the City Engineer prior to construction commencement.
- Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices.
- A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the stormbank protection volume must be provided.
- An Engineer's Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance certificate of occupancy.
- A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit.
- A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit.
- The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy.

SITE DATA:

EXISTING AND PROPOSED USE: CHURCH AND SCHOOL

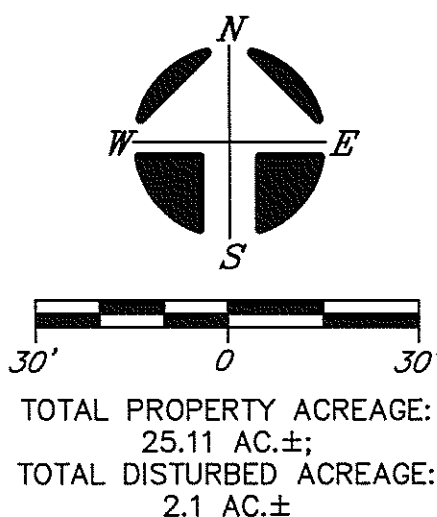
LOT AREA: 25.11 ACRES±, 1093792 S.F.±  
EXISTING BUILDING AREA: 76833 S.F.±  
PROPOSED BUILDING AREA: 22814 S.F.±  
LOT COVERAGE (BLDG(F.A.R.)): 99647/1093792 = 9.1%  
EXISTING PAVING: 418655 S.F.±  
NEW PAVING: 17919 S.F.±  
LOT COVERAGE (ALL, PRE-DEV'T):  
(76833+418655)/1093792 = 45.3%  
LOT COVERAGE (ALL, POST-DEV'T):  
(99647+418655+17919)/1093792 = 49.0%  
PARKING REQUIRED:  
KINDERGARTEN—145 SPACES  
(1perEMPLOYEE(37) + 1per4students(430))  
ELEM/MIDDLE—240 SPACES (1per5auditorium seats(1200))  
HIGH—240 SPACES (1per5auditorium seats(1200))  
(GREATER)  
EXISTING PARKING SPACES ON-SITE: 299 PLUS 10 H.C.  
PROPOSED PARKING SPACES: 32 SPACES PLUS 12 H.C.  
TOTAL SPACES PROVIDED: 331 SPACES PLUS 12 H.C.

BUILDING HEIGHT: 33 FEET±  
CANOPY HEIGHT: 21'-8"±

NET IMPERVIOUS DATA:

EXISTING BUILDING AREA: 76833 S.F.±  
PROPOSED BUILDING AREA: 22814 S.F.±  
EXISTING PAVING: 418655 S.F.±  
NEW PAVING: 17919 S.F.±  
TOTAL EXISTING IMPERVIOUS AREA:  
495488 S.F.±  
TOTAL PROPOSED IMPERVIOUS AREA:  
40733 S.F.±

THIS PROPERTY IS LOCATED WITHIN THE  
OVERALL CREEK ASSESSMENT DISTRICT.

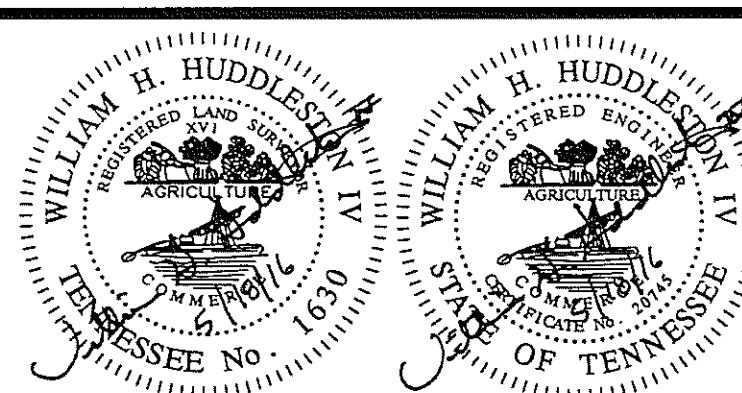


LEGEND FOR MONUMENTS  
IPS ○ IRON PIN SET  
IPF ○ IRON PIN FND.  
○ RAILROAD SPIKE  
— FENCE  
● SURVEY POINT  
▲ NAIL  
■ CONC. MARKER FND.

ZONING: RM (COUNTY)  
FRONT SETBACK: 40'  
SIDE SETBACK: 10'  
REAR SETBACK: 20'

OWNER: FRANKLIN ROAD BAPTIST CHURCH  
ADDRESS: 3124 FRANKLIN ROAD  
MURFREESBORO, TN 37129  
TAX MAP: 92 PARCEL: 47  
FLOOD MAP PANEL: 470168 0255 H ZONE: X  
FLOOD MAP DATED: JANUARY 5, 2007

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR  
INFORMATION ONLY AND IS NOT A GENERAL  
PROPERTY SURVEY AS DEFINED UNDER RULE  
0820-3-.07.



**W. H. HUDDLESTON-STEELE  
ENGINEERING, INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: (615)893-4084, FAX: (615)893-10080

#	DATE	REVISION DESCRIPTION
1	05/13/16	ADDRESSED CITY STAFF COMMENTS
2	05/18/16	ADDRESSED COUNTY STAFF COMMENTS

**SITE LAYOUT PLAN**

**FRANKLIN ROAD  
BAPTIST CHURCH**

**SCHOOL CLASSROOM BUILDING ADDITION**

13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: MAY, 2016 SCALE 1"=30' SH. 2 OF 4

NOTES:

- THE PURPOSE OF THIS SITE PLAN IS TO SHOW A SCHOOL CLASSROOM BUILDING ADDITION AND ASSOCIATED PARKING AREA, AS WELL AS A DETENTION AREA.
- IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
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LEGEND

- Power Pole
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence  
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Turf Reinforcement Mat
- Existing Telephone & Electric Line
- Existing Underground Electric Line
- Corrugated Metal Pipe
- Reinforced Concrete Pipe



BES STONERIDGE  
FUND IX, LLC, ETAL  
REC.BK. 1183/2814

ZONED: PUD (CITY)

4°51'55"E  
208.65'

10' SIDE MBSL

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING SCHOOL BUILDING

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

EXISTING PARKING SPACES

ALL EXISTING FENCES, PAVING, CONCRETE  
AND BUILDINGS THAT CONFLICT WITH  
WORK TO BE PERFORMED SHALL BE REMOVED.

ANDREW M. GRAVES,  
D.B. 324, PG. 12.

(ZONED: RM)

ANDREW M. GRAVES,  
D.B. 135, PG. 36

(ZONED: RM)

CHARLES P. McCLANAHAN,  
D.B. 238, PG. 66

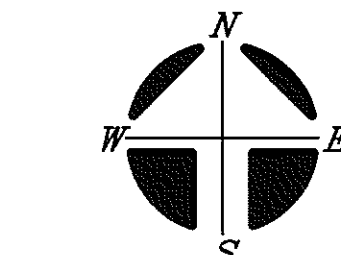
(ZONED: RS-15)

FRANKLIN ROAD BAPTIST

ZONED: CL  
FRONT SETBACK: 42'  
SIDE SETBACK: 10'  
REAR SETBACK: 20'

#### NOTES

1. ALL EXISTING UTILITIES WHICH WILL INTERFERE WITH NEW CONSTRUCTION TO BE ABANDONED, REMOVED OR RELOCATED. CONTRACTOR TO COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND PROJECT ENGINEER.
2. ANY EXISTING CONFLICTING CISTERNS, VAULTS, TANKS, ETC., TO BE COMPLETELY REMOVED. ANY RESULTING VOIDS TO BE BACKFILLED WITH COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH A REPORT BY A GEOTECHNICAL ENGINEER.
3. IF THERE IS ANY ASBESTOS-CONTAINING BUILDING MATERIALS OR LEAD-BASED PAINT WITHIN OR ON THE EXTERIOR OF THE EXISTING STRUCTURES TO BE REMOVED, THEN NOTIFICATION OF ANY DEMOLITION PROJECTS OCCURRING IN THE STATE MUST BE MADE TO TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DIVISION OF AIR POLLUTION CONTROL AND LOCAL REGULATORY ENTITIES.



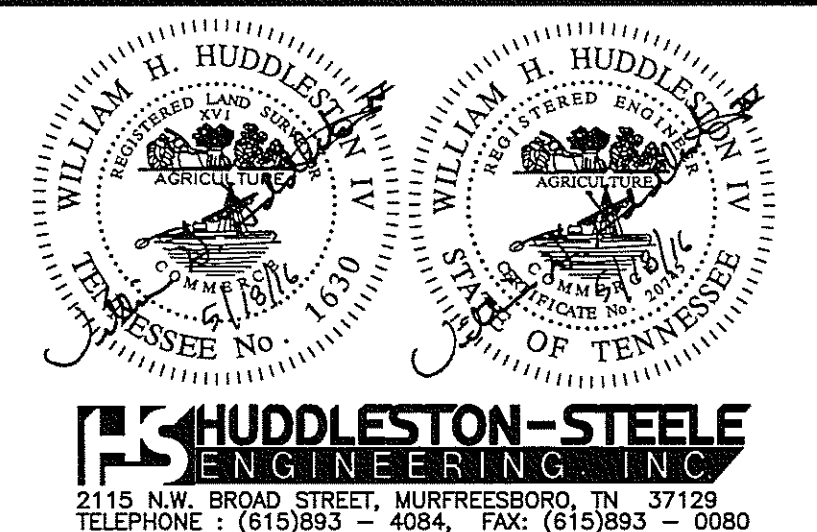
TOTAL PROPERTY ACREAGE:  
25.11 AC.±  
TOTAL DISTURBED ACREAGE:  
2.1 AC.±

LEGEND FOR MONUMENTS  
IPF ○ IRON PIN SET  
IPF ○ IRON PIN FND.  
○ RAILROAD SPIKE  
○ FENCE  
● SURVEY POINT  
△ NAIL  
■ CONC. MARKER FND.

ZONING: RM (COUNTY)  
FRONT SETBACK: 40'  
SIDE SETBACK: 10'  
REAR SETBACK: 20'

OWNER: FRANKLIN ROAD BAPTIST CHURCH  
ADDRESS: 3124 FRANKLIN ROAD  
MURFREESBORO, TN 37129  
TAX MAP: 92 PARCEL: 47  
FLOOD MAP PANEL: 470168 0255 H ZONE: X  
FLOOD MAP DATED: JANUARY 5, 2007

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR  
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PROPERTY SURVEY AS DEFINED UNDER RULE  
0820-3-.07.



#	DATE	REVISION DESCRIPTION
1	05/13/16	ADDRESSED CITY STAFF COMMENTS
2	05/18/16	ADDRESSED COUNTY STAFF COMMENTS

#### DEMOLITION PLAN

FRANKLIN ROAD  
BAPTIST CHURCH  
SCHOOL CLASSROOM BUILDING ADDITION  
13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

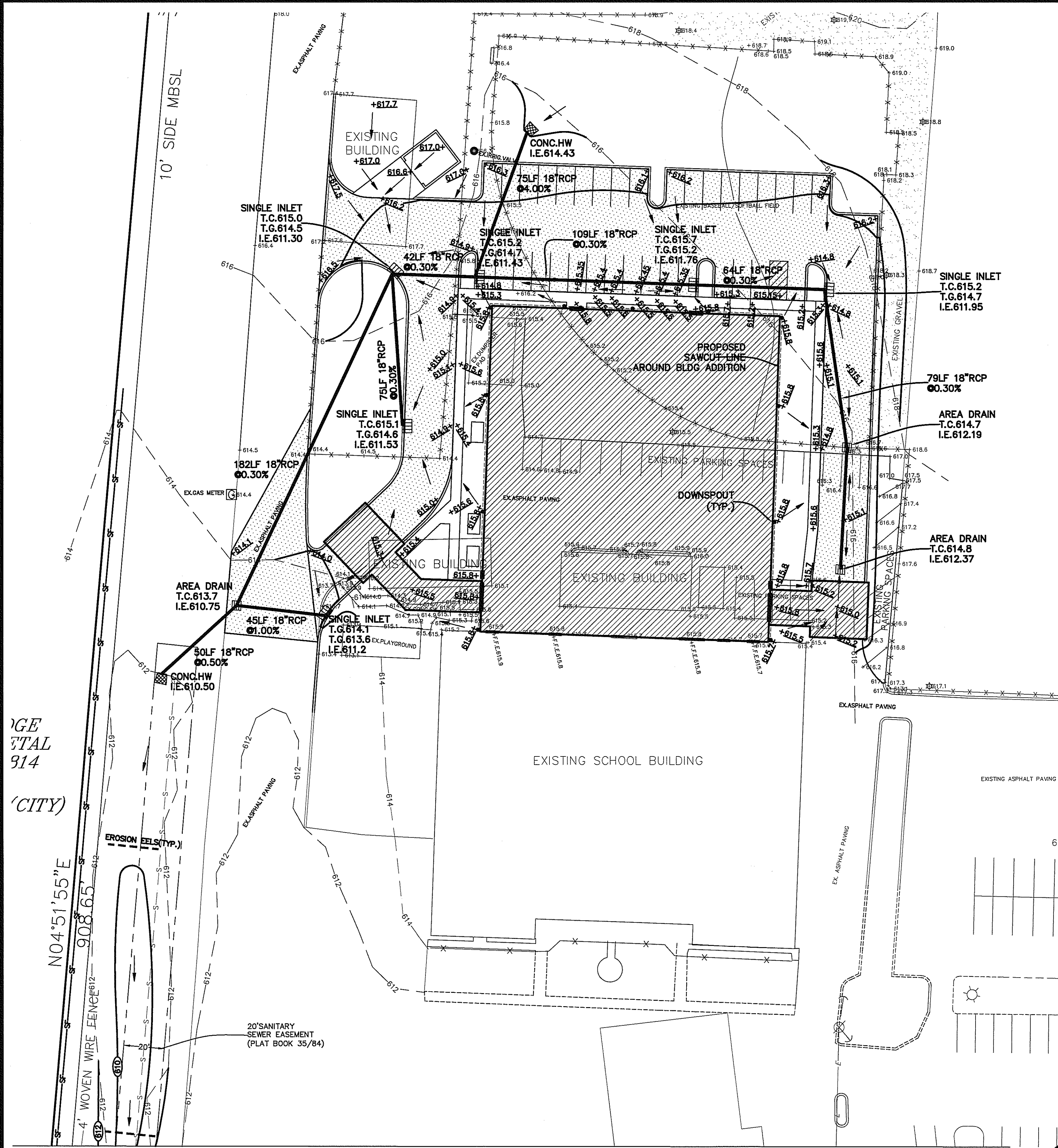
DATE: MAY, 2016 SCALE 1"=30' SH. 2A OF 4

- NOTES:
1. THE PURPOSE OF THIS SITE PLAN IS TO SHOW A SCHOOL CLASSROOM BUILDING ADDITION AND ASSOCIATED PARKING AREA, AS WELL AS A DETENTION AREA.
  2. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
  3. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

#### LEGEND

- Power Pole
- ✕ Existing Fire Hydrant
- Proposed Fire Hydrant
- △ Reducer
- Proposed Gate Valve & Box
- ▲ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- CO— Existing Contours
- CO— Proposed Contours
- 00.0 Existing Spot Elevations
- 00.0 Proposed Spot Elevations
- SF— Siltation Fence  
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Turf Reinforcement Mat
- E— Existing Telephone & Electric Line
- UGE— Existing Underground Electric Line
- CMP— Corrugated Metal Pipe
- RCP— Reinforced Concrete Pipe

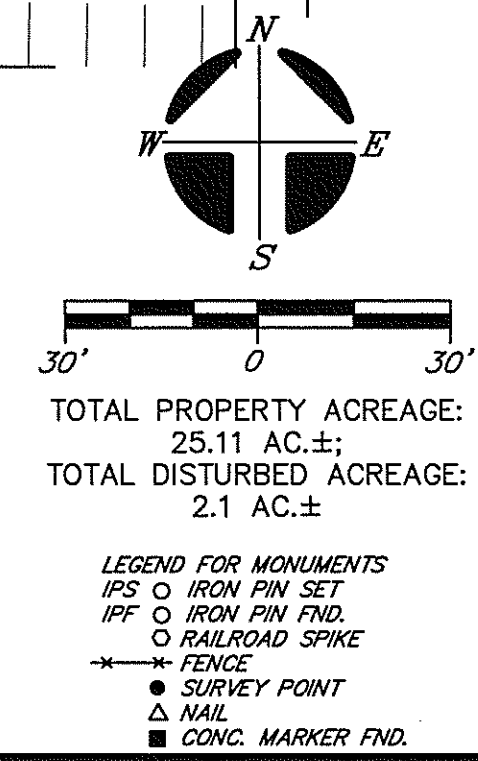




MATCH MARK THIS SHEET

NOTES:

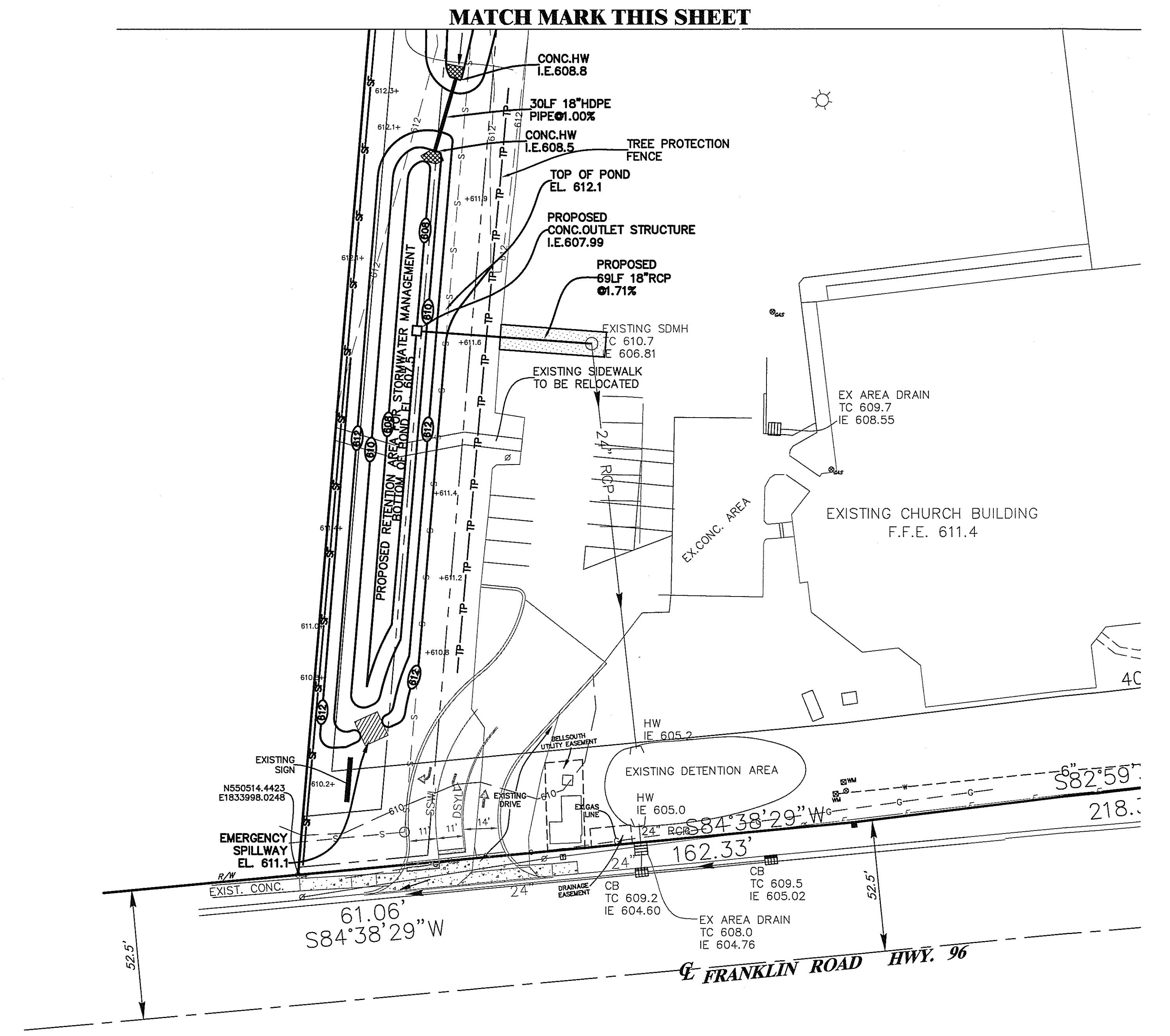
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ZONING: RM (COUNTY)  
 FRONT SETBACK: 40'  
 SIDE SETBACK: 10'  
 REAR SETBACK: 20'

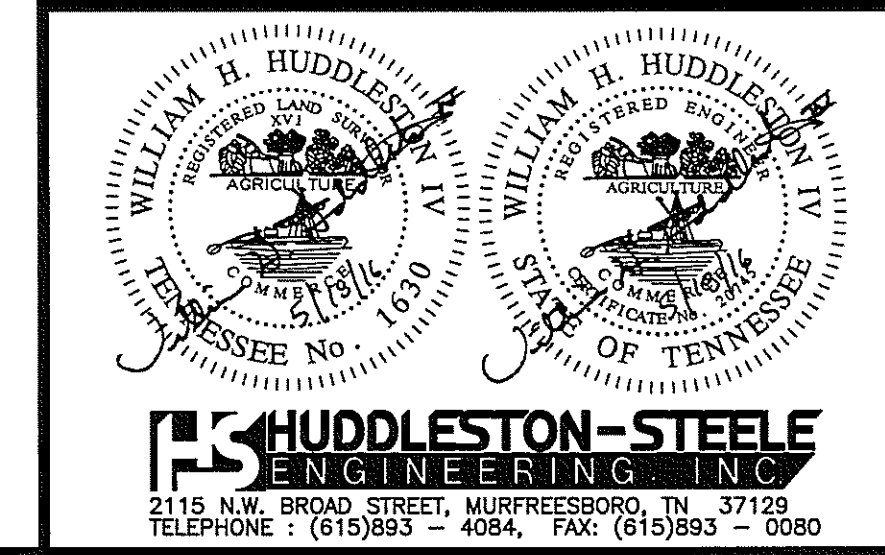
OWNER: FRANKLIN ROAD BAPTIST CHURCH  
 ADDRESS: 3124 FRANKLIN ROAD  
 MURFREESBORO, TN 37129

TAX MAP: 92 PARCEL: 47  
 FLOOD MAP PANEL: 470168 0255 H ZONE: X  
 FLOOD MAP DATED: JANUARY 5, 2007



- LEGEND**
- ⊙ Power Pole
  - ⊙ Existing Fire Hydrant
  - ⊙ Proposed Fire Hydrant
  - ⊙ Reducer
  - ⊙ Proposed Gate Valve & Box
  - ⊙ Concrete Thrust Block
  - W— Existing Water Line
  - W— Proposed Water Line
  - S— Existing Sanitary Sewer Line
  - S— Proposed Sanitary Sewer Line
  - ⊙ Existing Manhole
  - ⊙ Proposed Manhole
  - ⊙ Sewer Line Check Dam
  - ⊙ Existing Contours
  - ⊙ Proposed Contours
  - 00.0 Existing Spot Elevations
  - 00.0 Proposed Spot Elevations
  - SF— Siltation Fence  
 (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
  - Turf Reinforcement Mat
  - E—T— Existing Telephone & Electric Line
  - UGE— Existing Underground Electric Line
  - CMP— Corrugated Metal Pipe
  - RCP— Reinforced Concrete Pipe

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#	DATE	REVISION DESCRIPTION
1	05/13/16	ADDRESSED CITY STAFF COMMENTS
2	05/18/16	ADDRESSED COUNTY STAFF COMMENTS

**GRADING AND DRAINAGE PLAN**

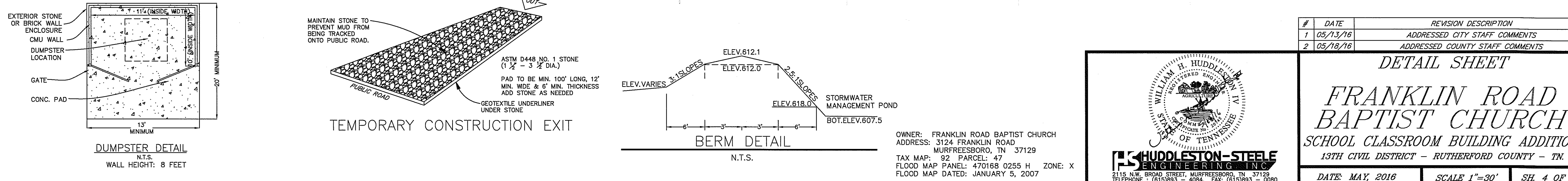
**FRANKLIN ROAD BAPTIST CHURCH**

**SCHOOL CLASSROOM BUILDING ADDITION**

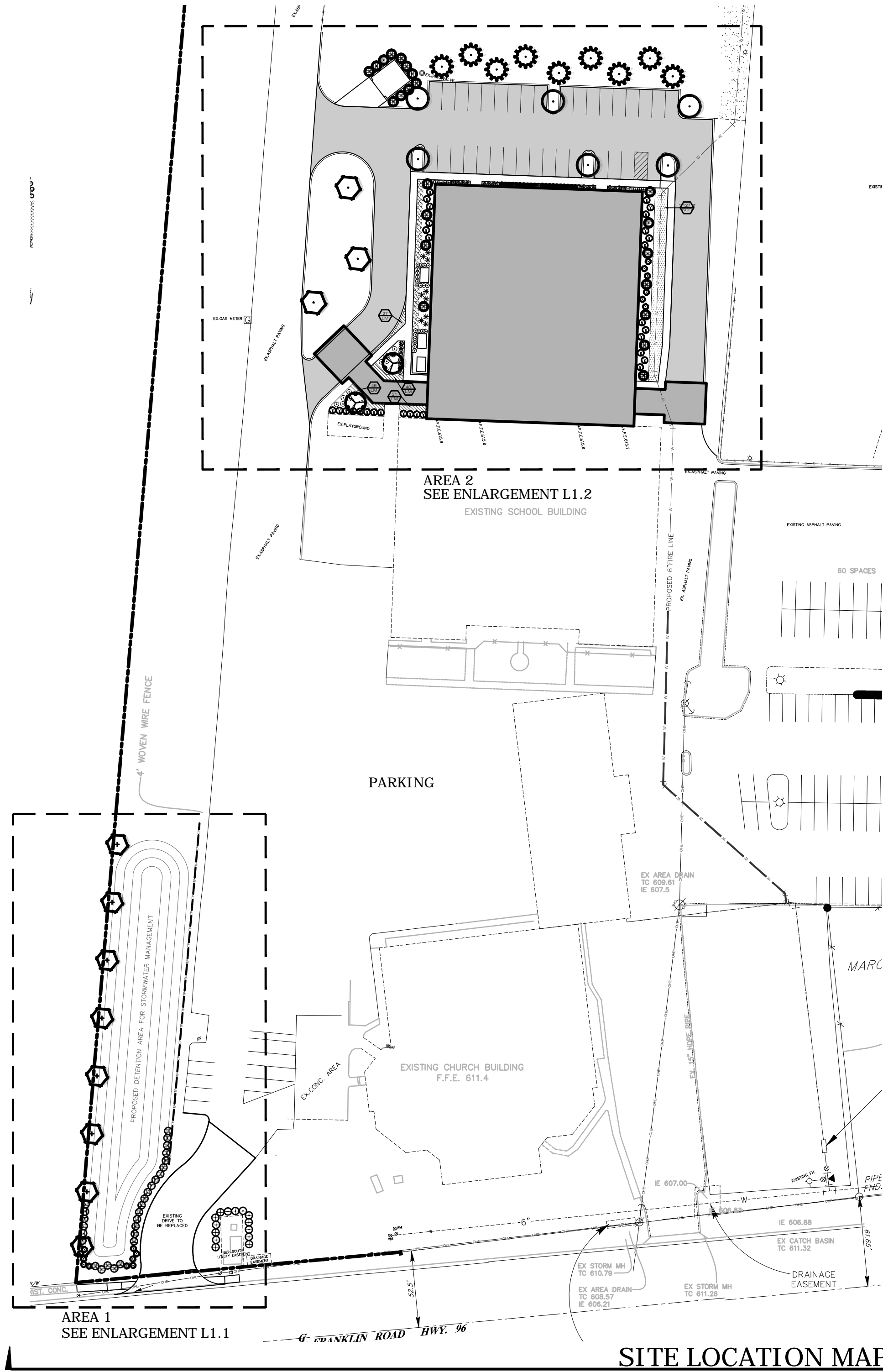
13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: MAY, 2016 SCALE 1"=30' SH. 3 OF 4





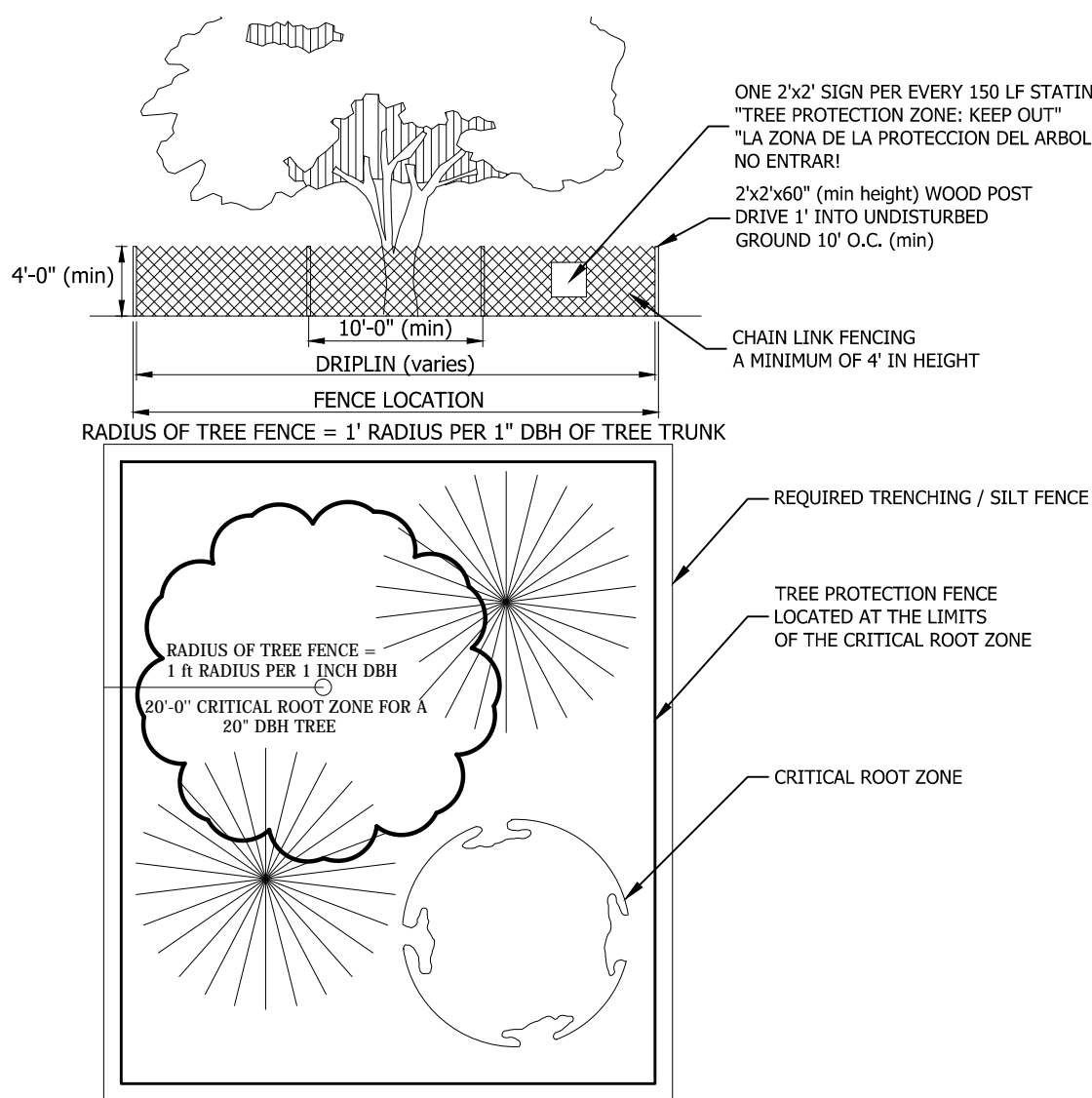




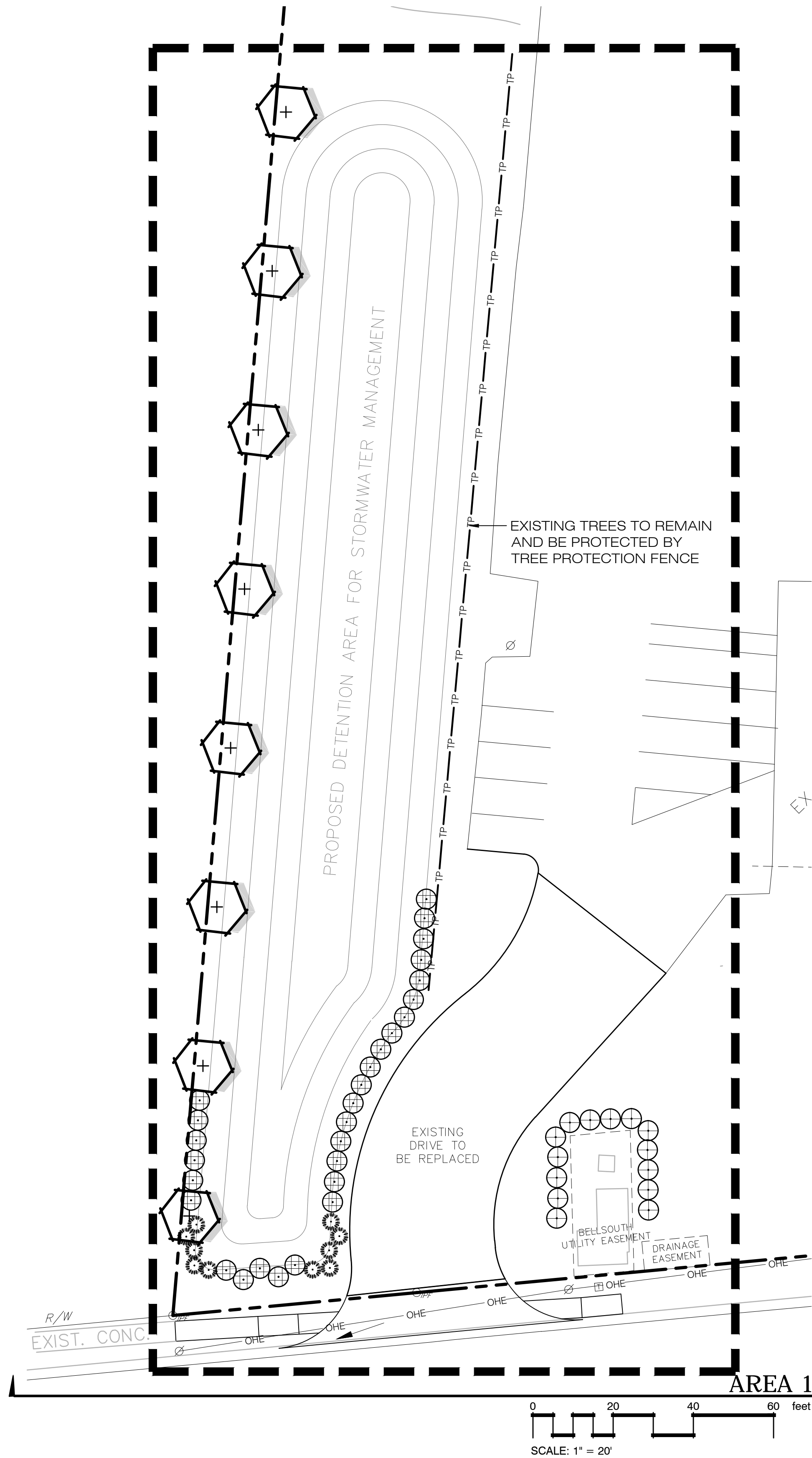
SITE LOCATION MAP  
SCALE - 1:30

SITE DATA AREA 1			
OVERALL SITE AREA: 2.2 ACRES			
LANDSCAPE REQUIREMENTS			
REQUIRED PERIMETER LANDSCAPING		REQUIRED	PROPOSED
(NORTH PERIMETER)			
N/A			
(EAST PERIMETER)			
N/A			
(SOUTH PERIMETER)			
- SCREEN DETENTION POND FROM ROW AND VIEWSHED			
(WEST PERIMETER)			
1	SHADE TREE/ 40 LF OF FRONTAGE/ 315 LF	8 2.5" CANOPY TREES	8 2.5" CANOPY TREES
12 PARKING SPACES			
N/A			
REQUIRED SHRUBS		REQUIRED	PROPOSED
30 18" SHRUBS PER ACRE			
30 SHRUBS = 2.2 AC. OF SITE		66 SHRUBS	52 SHRUBS - AREA 1

5.2.7 Tree Protection During Construction  
(1) Owner's Responsibility  
During development, the owner or developer shall be responsible for the erection of all barriers necessary to protect any existing of installed trees from damage both during and after construction in accordance with the standards of this subsection.  
(2) Tree Protection Fencing  
(a) When Required  
All specimen trees, trees in a Tree Protection Zone, and trees intended for use as credit towards the landscaping standards of this chapter shall be fenced in accordance with this subsection before grading of other land disturbing activity begins. Fencing shall extend at least one foot in distance from the edge of the tree for each inch of DBH, so that each tree's drip line is protected, but no less than ten feet from the trunk. The Codes Department shall consider existing site conditions in determining the exact location of any tree protection fencing.  
(b) Type of Fencing  
All fencing required by this subsection shall be chain link fencing at least four feet in height and secured using appropriate posts spaced not more than ten feet apart. Such chain link fencing is not required to be coated.  
(c) Signage  
Signs shall be installed on the tree protection fence visible on all sides of the fenced-in area at a rate of at least one sign for every 150 linear feet. The size of each sign must be a minimum of two feet by two feet tall and shall contain the following language in English and Spanish: "TREE PROTECTION ZONE: KEEP OUT."  
(d) Trenching Prior to Clearing Activities  
The removal of tree adjacent to tree save areas can cause inadvertent damage to the protected trees. Prior to clearing activities, trenches with a minimum depth of 12 inches shall be cut along the limits of the disturbance, so as to cut, rather than tear tree roots.  
(e) Inspection  
All tree protection measures shall be inspected and approved by the Codes Department prior to the start of any land disturbing activities. Failure to have tree protection measures prior to the commencement of construction is a violation of this ordinance.  
(f) When Required  
The tree protection fencing shall be clearly shown on the Site Plan. No construction, grading, equipment or material storage of any other activity shall be allowed within the fenced area except in accordance with the standards in Subsection 5.2.7 (3). Encroachments into Root Zones. Fencing shall be maintained until the land disturbance activities are complete.



1 CHAINLINK TREE PROTECTION FENCE

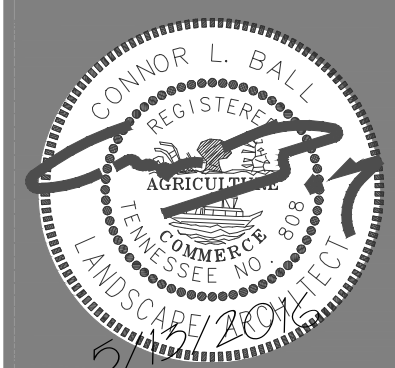


### PLANT SCHEDULE ..

TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	8	Nuttall Oak / Quercus nuttallii 6' Clear Trunk. Single; Straight Central Leader. Evenly Branched. Full Symmetrical Crown. See Tree Specifications.	B & B	2.5' Cal	12' -14' HT
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	14	Blue Princess Holly / Ilex x meserveae 'Blue Princess' TM Full; Dense Form. One Male per 20 Female	24" HT		
	10	Henry's Garnet Sweetpire / Itea virginica 'Henry's Garnet' Full. Heavy. Properly Pruned	24" HT		
	28	Prague Viburnum / Viburnum x pragense	24" HT		

MISCELLANEOUS      REMARKS  
Shredded Hardwood Bark Mulch      Minimum 3" depth throughout landscape beds

PROPOSED SITE FOR:  
**FRANKLIN ROAD BAPTIST CHURCH**  
MURFREESBORO, RUTHERFORD CO., TENNESSEE

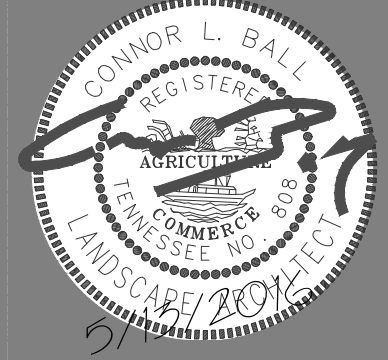


BY: cb

RELEASE DATE: 00/00/00  
REV 1:

L1.1

LANDSCAPE PLAN



BY: cb

RELEASE DATE: 00/00/00  
REV 1:

PLANT SCHEDULE .					
TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	3	Forest Pansy Redbud / Cercis canadensis 'Forest Pansy' TM Single Trunk. 4 ft Clear Trunk, Full Canopy See Tree Specifications	B & B	2"Cal	8'-10' HT
	2	Milky Way Kousa Dogwood / Cornus kousa 'Milky Way' Single Trunk. 4 ft Clear Trunk, Full Canopy. See Tree Specifications	B & B	2"Cal	8'-10' HT
	22	Blue Arrow Juniper / Juniperus Scopulorum 'Blue Arrow' Full; Dense Form	B & B		6' HT
	9	Green Giant Arborvitae / Thuja standishii x plicata 'Green Giant' Full To Base	B & B		8' HT
	6	Village Green Zelkova / Zelkova serrata 'Village Green' 5ft Clear Trunk, Full Canopy. See Tree Specifications	B & B	3"Cal	12'-14' HT
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	12	Northern Lights Deciduous Azalea / Azalea x 'Lemon Lights' Full. Heavy. Well Branched	16" HT		
	20	Chicagoland Boxwood / Buxus microphylla 'Glencoe' Full. Dense.	15" HT		
	5	Graham Blandy English Boxwood / Buxus sempervirens 'Graham Blandy' Full; Desne; Upright Form	24" HT		
	8	Green Velvet Boxwood / Buxus x 'Green Velvet' Full, Heavy, Well Branched, Dense Form	18" HT		
	18	Feather Reed Grass / Calamagrostis x acutiflora 'Karl Foerster' Full; Desne Form	#1 Cont. 15" HT		
	10	Prostrate Plum Yew / Cephalotaxus harringtonia prostrata Full, Heavy, Well Branched, Dense Form.	18" HT		
	6	Henry's Garnet Sweetspire / Itea virginica 'Henry's Garnet' Full. Heavy. Properly Pruned	24" HT		
	10	Virginia Sweetspire / Itea virginica 'Little Henry' TM Full; Dense Form	18" HT		
	9	Maiden Grass / Miscanthus sinensis 'Gracillimus' Full, Heavy, Well Rooted, Dense Form	#1 Cont. 15" HT		
	16	Walkers Low Catmint / Nepeta x faassenii 'Walkers Low' Full. Heavy. Well Rooted	#1 Cont. 15" HT		
	30	Otto Luyken Laurel / Prunus laurocerasus 'Otto Luyken' Full, Heavy, Well-Rooted. Dense Form.	20" HT		
	21	Hicks Yew / Taxus x media 'Hicksii' Full, Heavy, Well Branched, Dense Form	24" HT		
GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	95	Firewitch Cheddar Pinks / Dianthus gratianopolitanus 'Firewitch' Install in Triangular Spacing to Fill Area	1 Quart		
	144	Big Blue Lilyturf / Liriope muscari 'Big Blue' Triangular Pattern 20" O.C.	flat		
	1,127 sf	Drought Tolerant Fescue Blend / Turf Sod	sod		

MISCELLANEOUS	REMARKS
Shredded Hardwood Bark Mulch	Minimum 3" depth throughout landscape beds

SUBSTITUTION NOTE:

- Requirements shown are as per City Zoning Ordinance.  
Substitutions are not allowed unless approved by Heibert+Ball Land Design.
- After installation, the landscape will be maintained by the owner.
- Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

TO AVOID OVERHEAD UTILITY CONFLICTS:

In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:

In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heiber+Ball Land Design immediately for coordination and field adjustment

UTILITY SCREEN

All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations

PLANT STANDARDS

The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury
- Root ball meets all ANSI standards and is appropriately sized

DEFICIENCIES NOT ACCEPTED:

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included Bark
- Major Branches touching
- Asymmetrical branching

LANDSCAPE SHALL NOT OBSTRUCT  
VISIBILITY OR ACCESS TO FIRE  
PROTECTION EQUIPMENT INCLUDING,  
BUT NOT LIMITED TO, FIRE HYDRANTS  
AND FIRE DEPARTMENT CONNECTIONS

LANDSCAPE NOTES:

Before the landscape project is started, the chosen landscape contractor will contact the Landscape Architect for a detailed explanation of the landscape plan. All plant material provided shall be nursery grown and shall comply with the American Standard For Nursery Stock: ANSI Z60.1-1996, for size and quality. No substitutions as to type, size, or spacing of plant materials specified on this plan may be made without written approval of owner and Landscape Architect. The quantities indicated on the plant list and plan are provided for the benefit of the contractor, but should not be assumed to always be correct. The landscape contractor assumes all responsibility for his or her own quantity calculations and the liability which pertains to those quantities and to any related contract documents and/ or price quotations.

The contractor is to verify the exact locations of all existing utilities. Take care to protect utilities that are to remain. Repair any damage according to local standards and codes, and at landscape contractor's expense. Coordinate all construction with appropriate utility company.

Before planting installation is to begin, a soil test is to be performed for all planting areas in order to determine the soil's structure, pH, and nutrient content. Specifically addressing the relationship between nitrogen, phosphorus, and potassium; as well as testing for other nutrients, organic matter, and soluble salt composition. Analysis is also required of any stockpiled topsoil. If topsoil is imported, then analysis shall be done for each location where the topsoil was excavated. These tests will guide the makeup of all future soil amendments as well as any additional soil excavation and replacement that may be necessary when determined and or approved by Landscape Architect and owner. These notes provide a general outline for soil sampling, preparation, plant installation, fertilization, and mulching.

BED PREPARATION NOTES:

The objective of the bed preparation and planting notes herein is to develop and preserve landscape material according to our landscape plan. Included in that goal is a standard of achieving optimum health, including growth and appearance of all ornamental landscape plants, while recognizing the unique growing environment presented by each planting location. The chosen landscape contractor must perform percolation tests in areas of planting, especially in areas where plants are to be installed that do not tolerate wet conditions. If it is observed that soils to not percolate well, the landscape architect and owner are to be notified immediately and prior to any planting.

PLANT INSTALLATION:

Soil amendments shall be incorporated in the following manner; the soil surface shall be loosened by rototilling to a minimum depth of 18" (only when outside the drip line of existing trees). All materials over 1" in diameter shall be removed. The manure and organic compost mixture shall be evenly spread over the area at a rate of 12 cubic yards per thousand square feet, and shall be mixed thoroughly into the soil surface to a depth of 6 inches by means of a rototiller, soil mixer or similar apparatus. Adjusting agents (e.g. lime and sulfur) may be applied in conjunction at this time based on the soil tests.. When incorporating topsoil, it should be spread over the area to a minimum 4" compacted depth, and mixed lightly into the subsoil by means of a rototiller, soil mixer or similar apparatus.

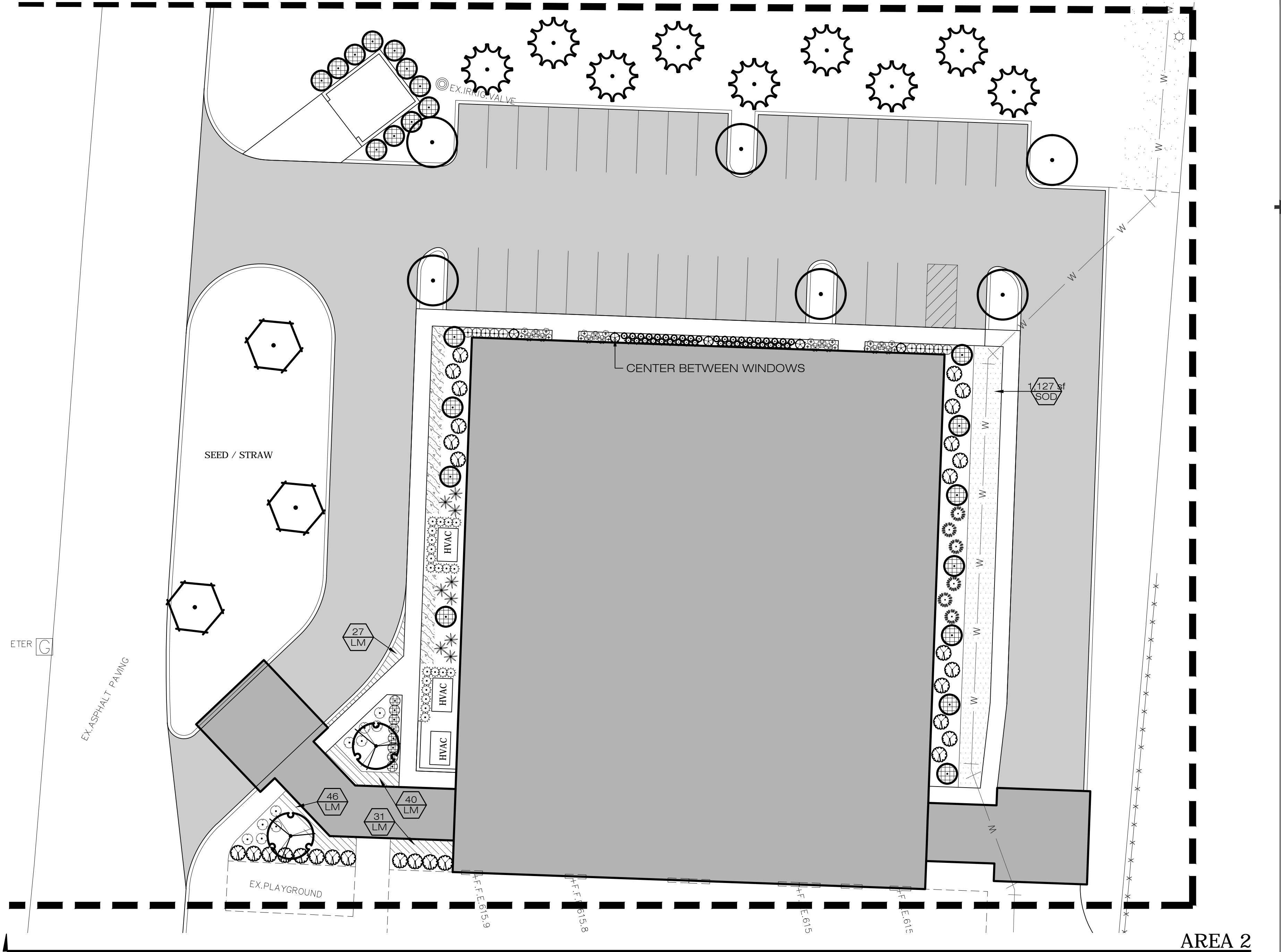
Amendments are to be spread and tilled into the soil uniformly.  
In situations where existing soil is to be excavated from non-turf planters and replaced as per planting plan notes, remove soil to specified depth. Replace soil with a mixture containing fifty percent (50%) coarse river sand, twenty-five percent (25%) organic matter, and twenty-five (25%) topsoil. Soil mixture will be subject to the same chemical and mechanical analysis described above. Composted organic matter used shall be a well decomposed, stable, weed free source. It shall be derived from: yard trimmings, agricultural, food, or industrial residuals.

The product shall contain no substances toxic to plants, animals, or humans and shall be reasonably free (<1% by dry weight) of man-made foreign matter. The composted organic matter will possess no objectionable odors and shall not resemble the raw material from which it was derived. Topsoil shall be a fertile sandy clay loam. Topsoil shall be taken from the top 18-24" of a well-drained site, and free from clay subsoil, stones, lumps, plants or their roots, sticks, stolons, and seeds, high salt content, and other materials harmful to plant life. Mix soil mixture lightly into the subsoil by means of a rototiller, soil mixer or similar apparatus.  
Fertilize all plant beds and planters with a complete slow release fertilizer which has a 2-1-2 NPK ratio to stimulate root growth. Fertilize planting beds at a rate that will provide 2-3 lbs. of actual nitrogen per 1000 square feet in the planting bed. Prior to seeding or sodding, fertilizer with a 10-10-10 NPK ratio shall be spread evenly over the surface at the rate of five pounds per thousand square feet. Never shall fertilizers be added to the soil of a new planting bed or lawn area with NPK ratios higher than 10-10-10.

All planting beds within the drip line of existing trees are to be prepped with the addition of light topsoil amendments over the existing topsoil and vertical mulching. The vertical mulching should occur at 18" on center with a 1-1 1/2" auger, 12-15" deep. The augured holes are to then be filled with approved organic matter and mulches. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball for all trees and large shrubs. Trees and large shrubs shall be planted so 1/8 of the root ball is above final grade (at least 2" of root ball). All plants are to be installed with mycorrhizae, following manufacturer's directions. The top soil material should taper out around plant corners, particularly with perennials.

Thoroughly water the ground bed cover after installation. Contractor shall mulch planting beds to a depth of 2 1/2"-3", not allowing mulch depth over 1" against any tree trunk. Leave some organic matter on the surface.

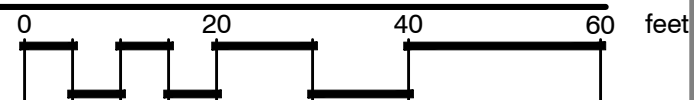
All disturbed areas outside of planters and planting beds to be seeded unless otherwise noted on landscape plan. Seed type to be approved by Landscape Architect.  
Turf areas shall be fine graded by contractor and free from stones, lumps, plants or their roots, sticks, stolons, and seeds, high salt content, and other materials harmful to plant life. Seed type to be approved by Landscape Architect. Sod areas shall be rolled smooth and sand added as needed



AREA 2

SITE DATA AREA 1

OVERALL SITE AREA: 2.2 ACRES



SCALE: 1" = 20'

LANDSCAPE REQUIREMENTS		REQUIRED PERIMETER LANDSCAPING		REQUIRED		PROPOSED	
(NORTH PERIMETER)		N/A					
(EAST PERIMETER)		N/A					
(SOUTH PERIMETER)		N/A					
(WEST PERIMETER)		N/A					
12 PARKING SPACES		N/A					
REQUIRED SHRUBS				REQUIRED		PROPOSED	
30 18" SHRUBS PER ACRE				66 SHRUBS		52 SHRUBS - AREA 1	
30 SHRUBS * 2.2 AC. OF SITE							

Notes

- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for any damage to utilities.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- All planting and mulch beds shall be hand weeded or sprayed with round-up (contractor's option ) prior to the installation of mulch.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall be responsible for completely maintaining the work of all planting areas and lawns per landscape notes on drawing until substantial completion
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- The landscape contractor shall completely guarantee all work for a period of two(2) years beginning at the date of acceptance. The landscape contractor shall make all replacements of any dead or damaged plant material promptly (as per direction of owner).
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to substantial completion.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.

ATTENTION OWNER/ INSTALLER:

This landscape plan has been designed to meet the minimum requirements of the Metro Nashville zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements; Thus problems may arise with releasing the performance/ maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Heibert+Ball Land Design and then obtaining approval from either the planning commission or the planning department.